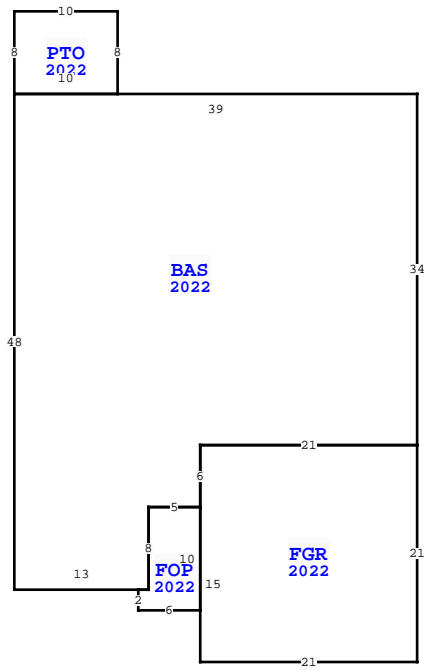




ELEMENT		CD	CONSTRUCTION
Foundation	02	CONCR	SLAB 100
Frame	02	WOOD	FRAME 100
Exterior Wall	05	HARDIE	BRD 80
Exterior Wall	11	AVERAGE	20
Roof Structur	03	GABLE/HIP	100
Roof Cover	03	COMP	SHNGL 100
Interior Wall	05	DRYWALL	100
Interior Floo	07	VYL	PLANK 70
Interior Floo	14	CARPET	30
Heating Type	13	HEAT PUMP	100
Air Condition	13	HEAT PUMP	100
Bedrooms			3 100
Bathrooms			2 100
Story Height			0 100
Stories	1.		1. 100
Units			0 100
Quality	03	AVERAGE	
DOR CODE	0100	SINGLE FAMILY	
MAP NUM	3	MKT AREA	10
NEIGHBORHOOD/LOC	419.00	1.00/	
AREA TYPE	TOTAL GROSS AREA	PCT OF BASE	YEAR
BAS	1,538	100	2022
FGR	441	50	2022
FOP	52	30	2022
PTO	80	5	2022
TOTALS	2,111		

MARKET ADJUSTMENTS												
TYPE	MDL	EFF. AREA	TOT ADJ PTS	EFF. BASE RATE	REPL. COST NEW	AYB	EYB	ECON	FNCT	NORM	% COND	
1	SINGLE FAM	100%	- 2024									
				Heated Area: 1538				HX Base Yr 2023				



WAKULLA COUNTY PROPERTY			
VALUATION SUMMARY			PAGE 1 of 1
VALUATION BY			STANDARD
Tax Group: 3	Tax Dist:		
BUILDING MARKET VALUE			188,449
TOTAL MARKET OB/XF VALUE			8,588
TOTAL LAND VALUE - MARKET			55,000
TOTAL MARKET VALUE			252,037
SOH/AGL Deduction			0
ASSESSED VALUE			252,037
TOTAL EXEMPTION VALUE	HX HB VX		55,000
BASE TAXABLE VALUE			197,037
TOTAL JUST VALUE			252,037
NCON VALUE			0
INCOME VALUE			
PREVIOUS YEAR MKT VALUE			247,330
5 YR PRCL CK, N/C, COULDN'T GET IN BK YD			
JS PRMT CH, P XFOBS. CC 10/2022			
JS PRMT CH P/U NEW SFD AND XFOBS			
LOT 52 NEW SUB #419 S/O FROM 10187-000			
PERMIT NUM	DESCRIPTION	AMT	ISSUED
OBN22-00032	SHED-CC		09/16/2022
21001205	SFD-CO	0	12/09/2021

SALES DATA						
OFF RECORD Number	DATE	TYPE INST	Q U	V I	RSN CD	SALE PRICE
1264/0611	5/06/2022	WD	Q	I	01	285,500
GRANTOR: D R HORTON INC						
GRANTEE: CAMACHO JESUS TORRE						
1233/0802	10/15/2021	WD	Q	V	05	1,609,200
GRANTOR: BCB FLP 1, LLC						
GRANTEE: D.R. HORTON, INC						

EXTRA FEATURES												
L N	OB/XF CODE	DESCRIPTION	BLD	CAP	L	W	UNITS	UT	Adj R	ADJ UNIT PRICE	ORIG COND	YEAR ON
1	0210	CONCRETE D	0	100	45	16	720.00	SF	6.00	6.00	100	2022
2	0211	CONCRETE W	0	100	12	3	36.00	SF	6.00	6.00	100	2022
3	0700	PORT BLDG	0	100	12	10	120.00	SF	0.00	0.00	100	2022
4	0955	PRIVACY FE	0	100	0	0	282.00	LF	15.00	15.00	100	2022

BLD DATE		LGL DATE	
XF DATE	INC DATE	LAND DATE	AG DATE

BUILDING NOTES	

BUILDING DIMENSIONS	
BAS=[YR=2022] W39 PTO=[YR=2022] E10 N8 W10 S8\$ S48 E13 N8 E5 FOP=[YR=2022] W5 S8 W1 S2 E6 N10\$ FGR=[YR=2022] S15 E21 N21 W21 S6\$ N6 E21 N34 \$.	

LAND DESCRIPTION													TOTAL OB/XF												
L N	USE CODE	CLS	LAND USE DESCRIPTION	CAP	R D	LOC ZONE	FRONT	DEPTH	TOT LND UTS	UNIT TYPE	D T	DPH FACT	% COND	TOT ADJ	UNIT PRICE	ADJ UNIT PRICE	LAND VALUE	OTHER ADJUSTMENTS AND NOTES	YEAR	DENSITY	DECL	FRZ	YR	CONSRV	
1	000100	C	SFR	100			0.00	0.00	1.00	LT		1.00	1.00	1.00	55,000.00	55,000.00	55,000								